

Development Permit Application

Application for Development Permit



LLOYDMINSTER

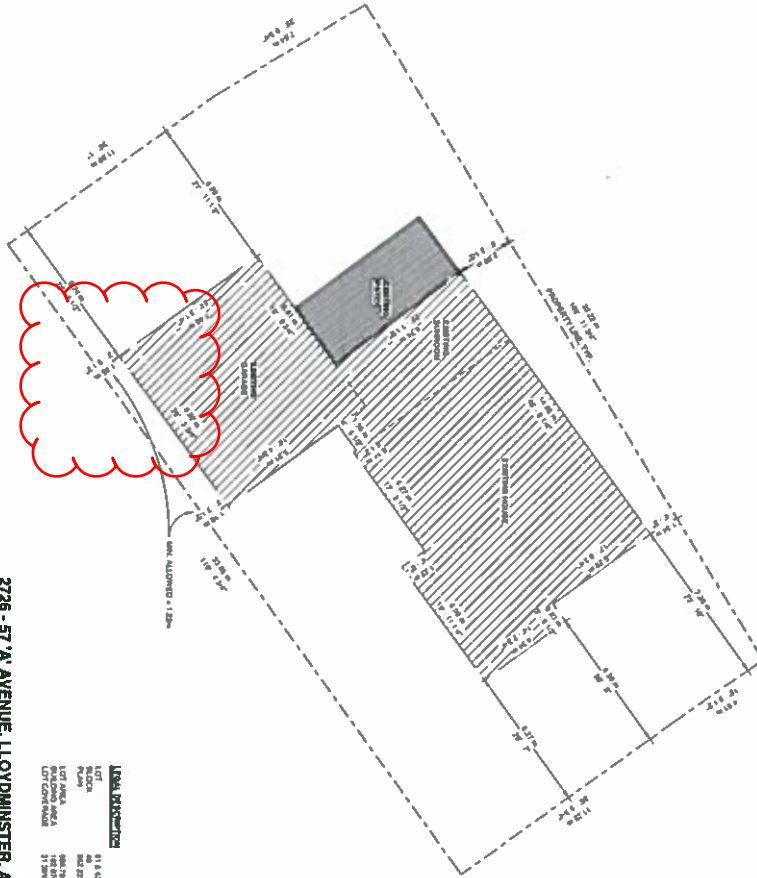
Application Submission Date:

PROJECT	Is the project already constructed? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	OFFICE USE ONLY	
	Municipal Address <u>2726-51A Avenue</u>	Application # <u>20-1497</u>	
APPLICANT INFORMATION	Tax Roll # <u>22175565000</u> Zoning District <u>R1</u>	Permit #	
	Legal Description: Lot <u>101+102</u> Block <u>40</u> Plan <u>858232</u>	Permit Fee <u>3000000 N/A</u>	
	[REDACTED]	Receipt # <u>5381485</u>	
	[REDACTED]	Approved by	
	Owner Authorization Form Attached? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A	Refused by	
		Issue Date	
		Valid Date	
DEVELOPMENT INFORMATION	Development Class: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Institutional <input type="checkbox"/> Multi-family - # of Units		
	Proposed Development: (Select all that Apply) <input type="checkbox"/> Permitted Use <input type="checkbox"/> Discretionary Use <input checked="" type="checkbox"/> Variance Application		
	<input type="checkbox"/> New Construction	<input type="checkbox"/> Front Deck	
	<input type="checkbox"/> Renovation	<input type="checkbox"/> Rear Deck	
	<input type="checkbox"/> Addition	<input checked="" type="checkbox"/> Other: <u>Sunroom</u>	
<input type="checkbox"/> Foundation	<input type="checkbox"/> Income Suite: <input type="checkbox"/> Secondary to Home <input type="checkbox"/> Garage Suite <input type="checkbox"/> Garden Suite		
<input type="checkbox"/> Superstructure	<input type="checkbox"/> Business License Use Approval for (type of business):		
<input type="checkbox"/> New Dwelling	<input type="checkbox"/> Home Based Business: <input type="checkbox"/> Minor <input type="checkbox"/> Major		
<input type="checkbox"/> Accessory Building	Description of Home Business		
<input checked="" type="checkbox"/> Attached Garage	Who is completing the work? <input type="checkbox"/> Property Owner <input type="checkbox"/> Contractor		
<input type="checkbox"/> Detached Garage	Contractor Name	Contractor Phone #	
DECLARATION	I hereby declare <input type="checkbox"/> I am <input checked="" type="checkbox"/> I represent the owner of the property on which the work identified in this application will be conducted in accordance to the plans submitted, and upon approval will adhere to the conditions/terms of Land Use Bylaw 5-2016. I/We will notify the Development Authority of any proposed changes to the plans submitted with this application.		
	Note: By typing your name into the signature box below (or by signing a printed version of this application), you agree that all information submitted on this form is true and accurate.		
	<u>[Signature]</u>	<u>Oct 2/20</u>	
	Signature of Registered Owner / Agent	Date of Application	
DECISION OFFICE USE ONLY	[Empty space for decision]		
	Development Officer	Date	

Collection and Use of Personal Information: The personal information being collected on this form is for the purposes of processing and acting upon this application in accordance with the Municipal Government Act, and is protected by the privacy provisions of the Freedom of Information and Protection of Privacy Act (FOIP). The City will not share your personal information for purposes outside of those stated without your permission in writing, unless there is a specific exemption stated in the Municipal Government Act.

IMPORTANT NOTICE: THIS APPLICATION DOES NOT PERMIT YOU TO COMMENCE CONSTRUCTION UNTIL SUCH TIME A DEVELOPMENT PERMIT HAS BEEN ISSUED BY THE DEVELOPMENT AUTHORITY AND ALL OTHER PERMITS (IF REQUIRED) ARE APPROVED. IF A DECISION HAS NOT BEEN ISSUED WITHIN 40 DAYS OF THE DATE THE APPLICATION IS DEEMED COMPLETE, YOU HAVE THE RIGHT TO FILE AN APPEAL TO THE SUBDIVISION AND DEVELOPMENT APPEAL BOARD. APPEALS TO THE SUBDIVISION AND DEVELOPMENT APPEAL BOARD CAN ALSO BE FILED IN REGARDS TO PERMIT REFUSALS AND/OR CONDITIONS WITHIN 21 DAYS OF A DECISION.


Site Plan
1" = 100'



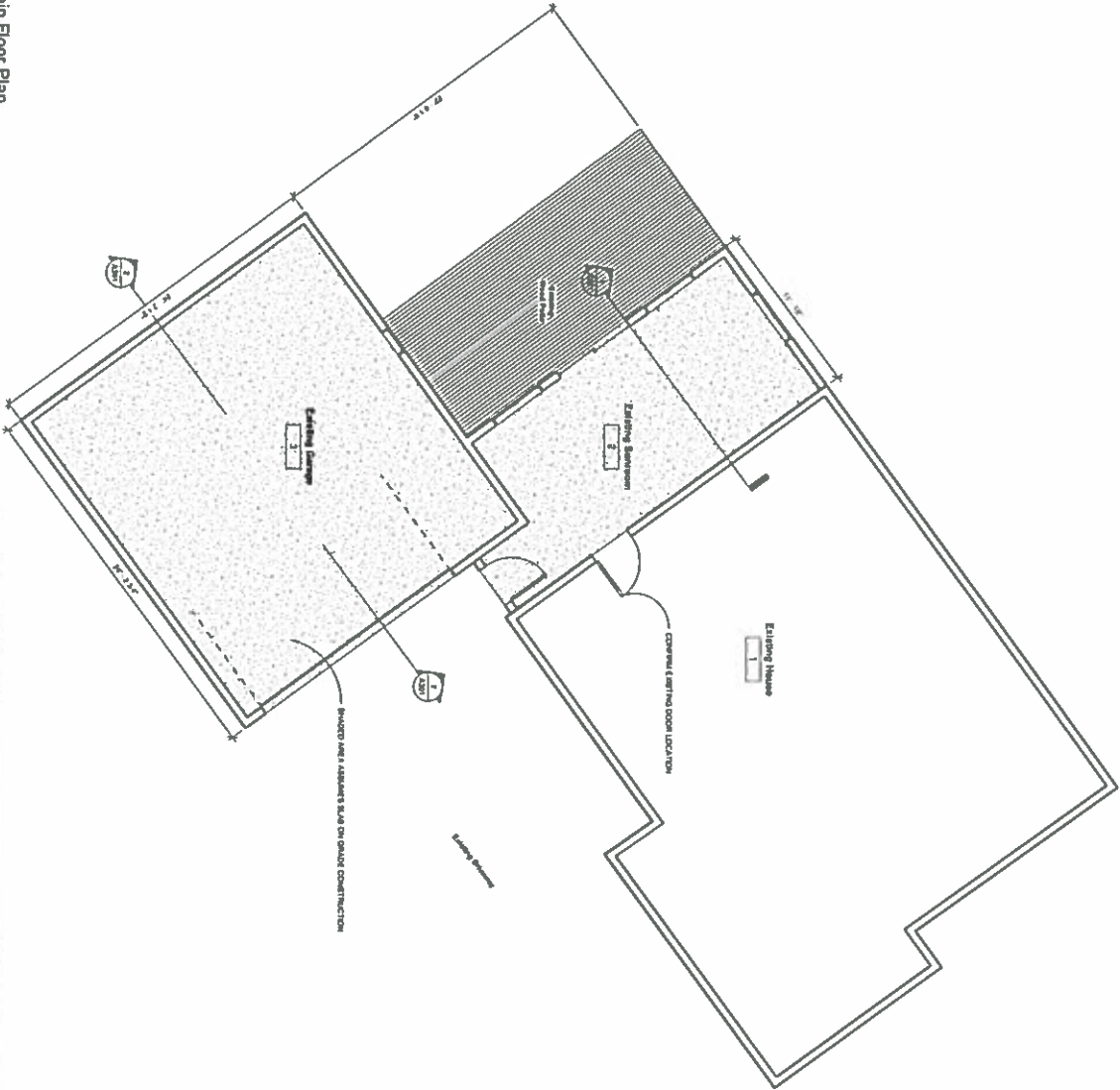
2736 - 57th AVENUE, LLOYDMINSTER, AB
NOTE: FINANCE APPLICATION REQUIRED

LEGAL DESCRIPTION	
LOT 1	91.9 x 43
PLAN	888.8239
LOT 2 AREA	102.294
LOT 3 AREA	102.294
LOT 4 AREA	102.294
LOT 5 AREA	102.294


RECEIVED
OCT 05 2020
By *App # 20-1497*

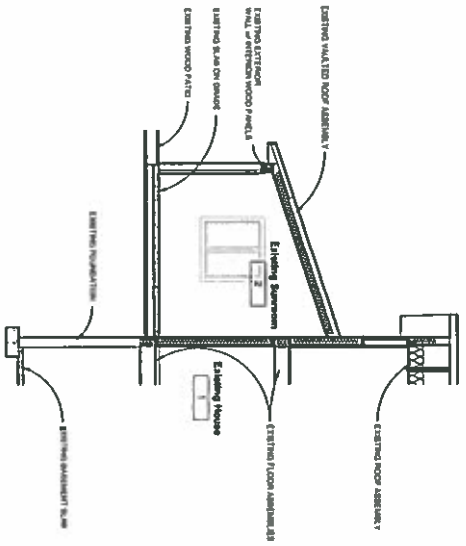
CLIENT Pattie Todd	PROJECT Residential As-Built	ENGINEER  UCG URBAN CONSULTING GROUP 1000 - 10th Street SW Calgary, Alberta T2P 1K1 Phone: 403.243.8888 Fax: 403.243.8889 Email: info@ucg.ca Website: www.ucg.ca
	DRAWING Site Plan	
SCALE: 1" = 100' DRAWN: Susan Dine CHECKED: [Blank] DATE: 08/11/2020 PROJECT NO.: 20-1497 DRAWING NO.: [Blank]	PROJECT NO.: 20-1497 DRAWING NO.: [Blank]	DATE: 08/11/2020 PROJECT NO.: 20-1497 DRAWING NO.: [Blank]
A002		

Main Floor Plan
1/4" = 1'-0"

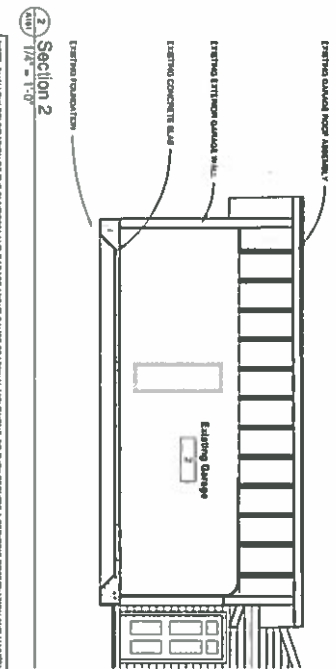


RECEIVED
OCT 05 2020
By *Arac Torres* 10/9/20

A101	CLIENT Pattie Todd	PROJECT Residential As-Built	ENGINEER 
	SCALE: 1/4" = 1'-0" DATE: FILE: DRAWING: CHECKED: DATE:	DRAWING Floor Plan	



1 Section 1
 SCALE: 1/4" = 1'-0"



2 Section 2
 SCALE: 1/4" = 1'-0"

NOTE: SMALLER FOUNDATION OF THE SUDWOOD AND GARAGE LIGHT CLUNG BE ASHRAU, MOVEMENT, SO THEY NEEDING A REINFORC CONCRETE AND QUALITY WORK

September 28, 2020
 RE: 2778-97A, Avenue
 Lytlewood AB
 TV/2/2020

To Whom It May Concern,

I recognize there is no date on the date on which construction materials on these two walls and
 there is no date on the date on which the foundation was constructed. I am assuming they were
 installed before and during
 construction.
 Best Regards,
 [Signature]

RECEIVED
 OCT 05 2020
 By [Signature]
 A301

CLIENT Pattie Todd	PROJECT Residential As-Built	DRAWING Sections	UGMAKER PROJECT: 2778-97A 10/05/2020 AS-BUILT PLAN 	
------------------------------	--	----------------------------	---	--