



AREA STRUCTURE PLAN



Prepared for: City of Lloydminster
Presented by: Select Engineering Consultants Ltd.
Date: January 13, 2014
RPT1-64-11028-8.0-Wigfield ASP-131213

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1.0 Introduction

1.1 Vision

Wigfield Industrial provides new business and employment opportunities in the City of Lloydminster. The designation of this area for industrial land use will ensure a supply of serviced and accessible industrial lots in the future.

1.2 Purpose

This Area Structure Plan (ASP) provides a statutory planning framework to guide the review and approval of development applications within Wigfield Industrial. It conceptually identifies land uses, the location of transportation routes, alignments for public utilities and servicing and the anticipated sequence of development. The ASP is consistent with relevant City policy direction.

The interface between development within Wigfield Industrial and existing and proposed developments for the surrounding areas are addressed by the Plan.

This ASP provides the basis for the submission of more detailed Outline Plans, which are required by the City of Lloydminster prior to zoning, subdivision and development approvals.

1.3 Location

Wigfield Industrial is located at the eastern limit of the City of Lloydminster, in Saskatchewan, adjacent to the Rural Municipality of Wilton No. 472 (See Figure 1). The ASP area consists of approximately 123 ha (305 ac) of land and is bounded by:

- 40 Avenue, and the Larson Grove and Colonial Park neighbourhoods, to the west;
- the Canadian Pacific Railway Right-of-Way (which also forms the City Boundary) to the east;
- the City Boundary to the south; and
- 44 Street (Highway 16) to the north.

1.4 Land Ownership

Wigfield Industrial is held under multiple Certificates of Title. The majority of the northern area, approximately 44 ha (109 ac), is owned by the City of Lloydminster. In the northeast corner of the area, approximately 4 ha (10 ac) is owned by the Province of Saskatchewan. A small, 0.3 ha (0.7 ac), portion of the CP Rail Right-of-Way is within the northeast portion of Wigfield Industrial. The southern portion of Wigfield Industrial, approximately 75 ha (185 ac), is owned by Little Pine Business Developments Inc.

In the northern portion of Wigfield Industrial, a number of easements (Plans 90B 12739 and 92B 07259) are registered to accommodate existing water and sanitary sewer services. In the southern portion, there are two registered easements in the northeast and southwest corners (Plans 86B 04085 and 87B 11330, respectively).

1.5 Stakeholder Consultation

As part of the preparation of the Wigfield ASP, a Stakeholder Consultation and Public Information process has been implemented.

A public meeting was held on October 12, 2013, to inform the public of the preparation of the ASP to provide opportunity for community involvement and feedback.

Notification of the public meeting was advertised in the "Meridian Booster" and "The Source" newspapers. The advertisement ran for two consecutive weeks prior to the meeting date, inviting any and all interested residents of Lloydminster to attend. Public agencies were also individually notified of the public meeting and the opportunity to provide feedback.

2.0 Site Context and Development Considerations

2.1 Existing Land Uses

At the time of this ASP preparation, the majority of lands within the southern portion of Wigfield Industrial are undeveloped and used for agricultural purposes. Portions of the area, north of the 41 Street alignment, are developed with a variety of commercial and light industrial uses.

In the northeast portion of Wigfield Industrial approximately 4.0 ha (10.0 ac) of land, within the City of Lloydminster's ownership, is leased for a radio tower installation. This lease expires on August 31, 2021, at which time the site will be available for industrial development. This lease area is accessed by a gravel road from 40 Avenue which aligns generally with 36 Street to the west of the area.

An abandoned gas well is located within the 40 Avenue Right-of-Way at the southwest corner of Wigfield Industrial. This is a former sweet gas well which has been reclaimed and no setbacks are required for development within the area.

Three residences are located in the southwest portion of Wigfield Industrial, within the Little Pine Business Development Ltd. land ownership.

2.2 Adjacent Land Uses

2.2.1 Larsen Grove

The Larsen Grove neighbourhood is located west of 40 Avenue and north of 36 Street, to the west of Wigfield Industrial. Larsen Grove is planned to include Low and Medium Density residential and commercial land uses.

2.2.2 Colonial Park

The Colonial Park neighbourhood is located west of 40 Avenue and south of 36 Street, to the west of Wigfield Industrial. Colonial Park is planned primarily as a Low Density Residential community which will also include institutional uses and an extensive pedestrian linkage which extends north into Larsen Grove.

2.2.3 Rural Municipality of Wilton No. 472

The Rural Municipality of Wilton No. 472 lies east and south of Wigfield Industrial and the City Boundary.

Agricultural land uses occupy the lands east of Wigfield Industrial (east of the CP Rail Right-of-Way), which are owned by Husky Oil Operations Ltd. and a Husky Oil Upgrader site is located further to the east.

Lands south of Wigfield Industrial are occupied by more intensive agriculture operations, including a feedlot, grain handling and residences.

2.3 Existing Site Features

The majority of Wigfield Industrial is cleared with some dispersed tree stands and low-lying areas. In the northern portion, a stormwater drainage channel parallels the west and north boundary of Wigfield Industrial (beginning at 36 Street). This channel drains to an existing stormwater management facility located at the northeast corner of the area.

The lands within the northern portion of Wigfield Industrial slope gradually to the northeast. Central to the southern portion of the area, an east–west trending ridge exists. South of this ridge feature, the southern portion of Wigfield Industrial slopes gradually to the southeast.

The area is relatively flat and the elevation varies about 7 m across the site. A ridge of higher ground exists in the south central Plan area with a maximum elevation of approximately 645 m.

3.0 Development Objectives and Principles

3.1 Land Use Concept

The Land Use Concept for Wigfield Industrial forms an extension of the existing industrial and commercial uses north of 41 Street (See Figure 2). Clustering industrial uses throughout the ASP area creates potential to establish synergies between proximate industrial users. This could result in efficiencies between industrial activities and reduce the burden placed on the natural environment. Wigfield Industrial is buffered from residential development to the west by 40 Avenue, providing an adequate separation distance between industrial and non-industrial uses.

Further definition of future land uses and lot sizing will be provided through the preparation of Outline Plans to support future zoning, subdivision and development within Wigfield Industrial.

3.2 Commercial

The northwest portion of Wigfield Industrial, north of 41 Street, will be developed for commercial uses.

3.3 Industrial

Undeveloped lands within Wigfield Industrial south of the 41 Street alignment are primarily designated for light industrial land use to support the provision of an adequate supply of industrial land for the City. A variety of business and light industrial uses are envisioned for this portion of the area.

The developed area in the northeast portion of Wigfield Industrial, in proximity to 41 Street and 37 Avenue, accommodates existing industrial land uses.

3.4 Parks and Open Space

No park space is provided within Wigfield Industrial as Municipal Reserve (MR). Land above the High Water Level within stormwater management facilities will be credited as Municipal Reserve (MR). Final amounts of cash-in-lieu required for MR will be established at the subdivision stage.

While no active recreation spaces are planned within Wigfield Industrial, open space is provided by the existing stormwater drainage channel and stormwater management facility in the northern portion of the area as well as an additional stormwater management facility to be located in the southeast corner of the area. These spaces will provide passive recreation opportunities for users of the industrial park.

3.5 Circulation

Strong local, regional, inter-provincial and national access to Wigfield Industrial, supporting industrial and commercial uses, is provided by the 40 Avenue arterial roadway connections to Highway 16 and Highway 17 (via 36 Street). Potential for rail access from the CP Rail Right-of-Way along the east boundary of the area also exists.

Depending on the land uses and lot sizes proposed through subsequent Outline Plans, widening and noise attenuation for 40 Avenue may be required. Access locations and design requirements will also depend on the intensity of land uses within Wigfield Industrial. No individual lot access will be provided to 40 Avenue. Rather, all future lots will be accessed via the future internal roadway network.

Local roadways within Wigfield Industrial are anticipated to be developed to a rural standard with a 30.0m cross section. All roadways will be designed to comply with the City of Lloydminster Municipal Development Standards.

A Transportation Impact Assessment (TIA) may be required to accompany an Outline Plan submission to provide additional detail regarding the provision of adequate access and circulation to facilitate development within Wigfield Industrial. Additional roadway access from 40 Avenue may be provided to serve the southern portion of the ASP area and roadway connections between the northern and southern portions of the ASP area may be warranted.

4.0 Infrastructure, Servicing and Staging

4.1 Municipal Services

Development within Wigfield Industrial can be immediately serviced through connections to existing services within the area. Future connections to adjacent areas will be required to complete the necessary looping of services to support full build-out in Wigfield Industrial (See Figure 3). All municipal services within the area will be designed in accordance with the City of Lloydminster Municipal Development Standards.

4.1.1 Water Distribution

An existing 300 mm water service traverses Wigfield Industrial east to west along 36 Street. This water service extends to the Husky Oil Upgrader to the east. An additional 300 mm water service extends north within Wigfield Industrial to a connection within the 41 Street Right-of-Way which services the developed portion of Wigfield Industrial to the north.

To service the northern portion of Wigfield Industrial a 300 mm water loop is proposed to connect the existing east-west and north-south water services.

To service the southern portion of Wigfield Industrial, 300 mm water looping is proposed to connect to the existing east-west water service (two connections will be required). A future water service connection from the Colonial Park area to the west will be required to provide sufficient looping to support full build out of this portion of the area.

Future water services will be located within future road Rights-of-Way.

4.1.2 Sanitary Sewer Collection

An existing 750 mm sanitary service traverses Wigfield Industrial east to west along 36 Street. This sanitary service extends to the Husky Oil Upgrader to the east and will be upgraded to a 1,200 mm service in the future. An additional 750 mm sanitary service extends north within the area to a connection within the 41 Street Right-of-Way which services the developed portion of Wigfield Industrial to the north.

To service the northern portion of Wigfield Industrial a 750 mm sanitary loop is proposed to connect the existing east-west and north-south sanitary services.

To service the southern portion of Wigfield Industrial, a 750 mm sanitary loop is proposed to connect to the existing east-west water service.

Future sanitary services will be located within future road Rights-of-Way.

4.1.3 Stormwater Management

The northern portion of Wigfield Industrial will drain northward into a stormwater management facility located at the northeast corner of the area. This facility has been sized to accommodate drainage from the Colonial Park area and other development to the west, which enters the facility via the drainage swale along the western and northern boundaries of Wigfield Industrial. The southern portion of the area will drain southward into a stormwater management facility to be located at the southeast corner of Wigfield Industrial. This southern stormwater management facility would then drain by pipe back to the northern facility. The final size of these facilities will be established at the Outline Plan, subdivision and development stages based on more detailed development concepts and grading plans.

Stormwater will be directed to the planned facilities via surface drainage in ditches within the rural road Rights-of-Way. All storm drainage from Wigfield Industrial ultimately drains to Neale Lake via an outlet at the northeast corner of the area. Maintenance access for the northern stormwater management facility is provided along the northern boundary of the Wigfield Industrial, accessed from 41 Street / 37 Avenue.

4.2 Franchise Utilities

Franchise utilities (including gas, power and telephone service) will be extended into Wigfield Industrial from existing services to the west and north. Extension of these services will be established in detail at the development stage.

4.3 Staging

Staging of development in Wigfield Industrial will follow the logical and economic extension of roadways and services to the area as driven by market demand.

It is anticipated that Wigfield Industrial will be developed from north to south as services currently exist in proximity to the northern portion of the area. Two major stages are anticipated, with the first stage consisting of the area north of, and including, the extension of 36 Street and the second stage consisting of the southern lands (See Figure 4). These major stages may be developed in smaller sub-stages depending on demand.

5.0 Land Use Statistics

Table 1: Land Use Statistics

Land Use	Ha	% GDA
GROSS AREA	123.48	
40 Avenue Road Widening	0.58	
CP Rail Right-of-Way	0.28	
GROSS DEVELOPABLE AREA	122.62	100.0%
Commercial	7.31	6.0%
Heavy Industrial	7.00	5.7%
Light Industrial	78.06	63.7%
Municipal Utility Parcel / Stormwater Management Facility ¹	17.34	14.1%
Circulation	12.91	10.5%
Municipal Reserve (as cash-in-lieu²)	6.13	5.0%

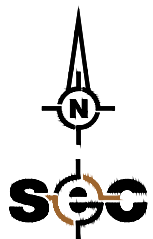
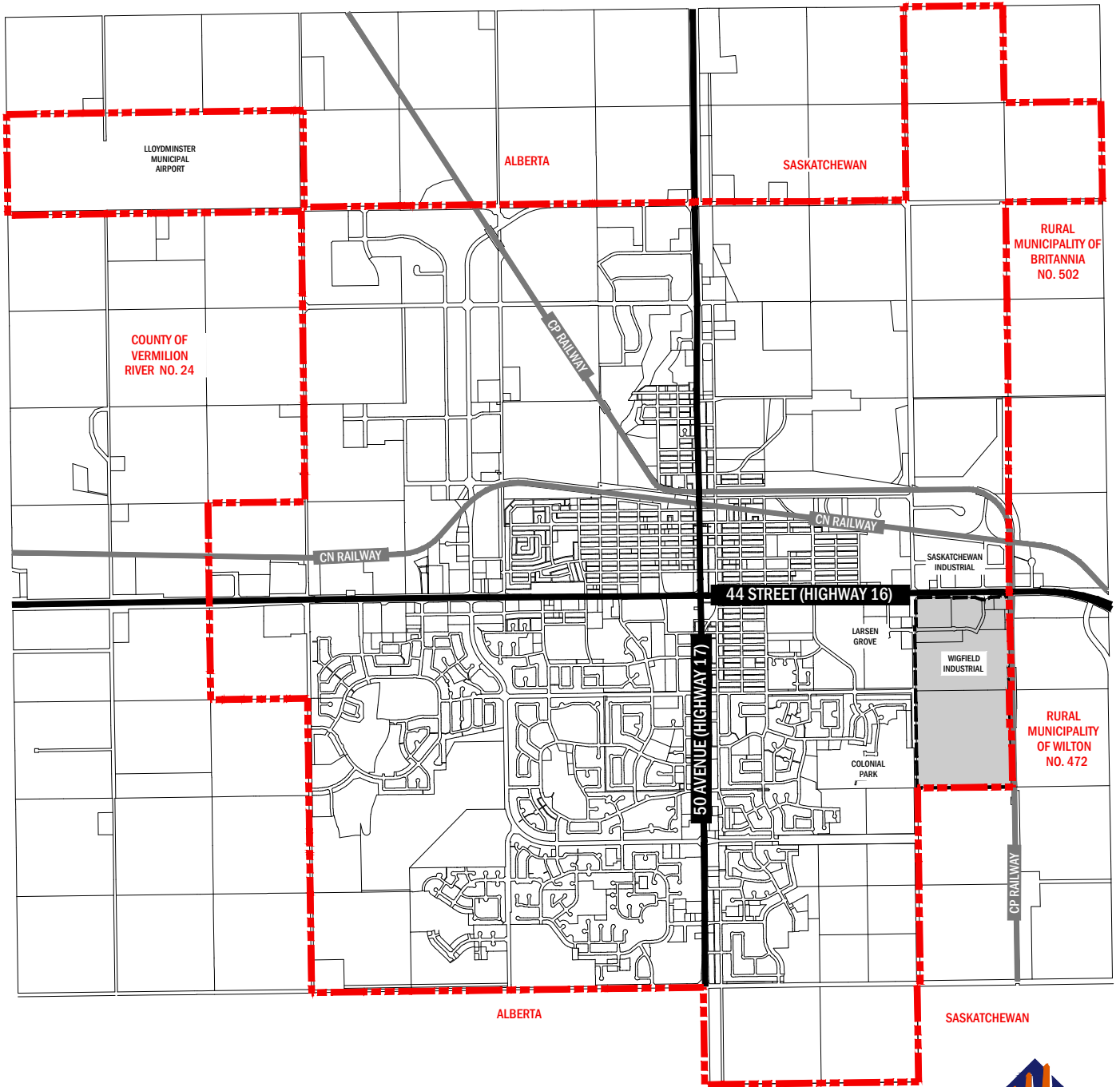
¹ An additional Stormwater Management Facility may be required at the southeast corner of the ASP area, depending on the topography in the southern portion of the Wigfield Industrial. This will be determined at the Outline Plan stage.

² Lands above the High Water Level within Stormwater Management Facilities will be credited as Municipal Reserve (MR). Final amounts of cash-in-lieu required for MR will be established at the subdivision stage.

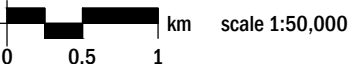
APPENDIX A

Area Structure Plan Figures

- Figure 1: Location
- Figure 2: Land Use Concept
- Figure 3: Servicing Concept
- Figure 4: Staging Concept



LOCATION

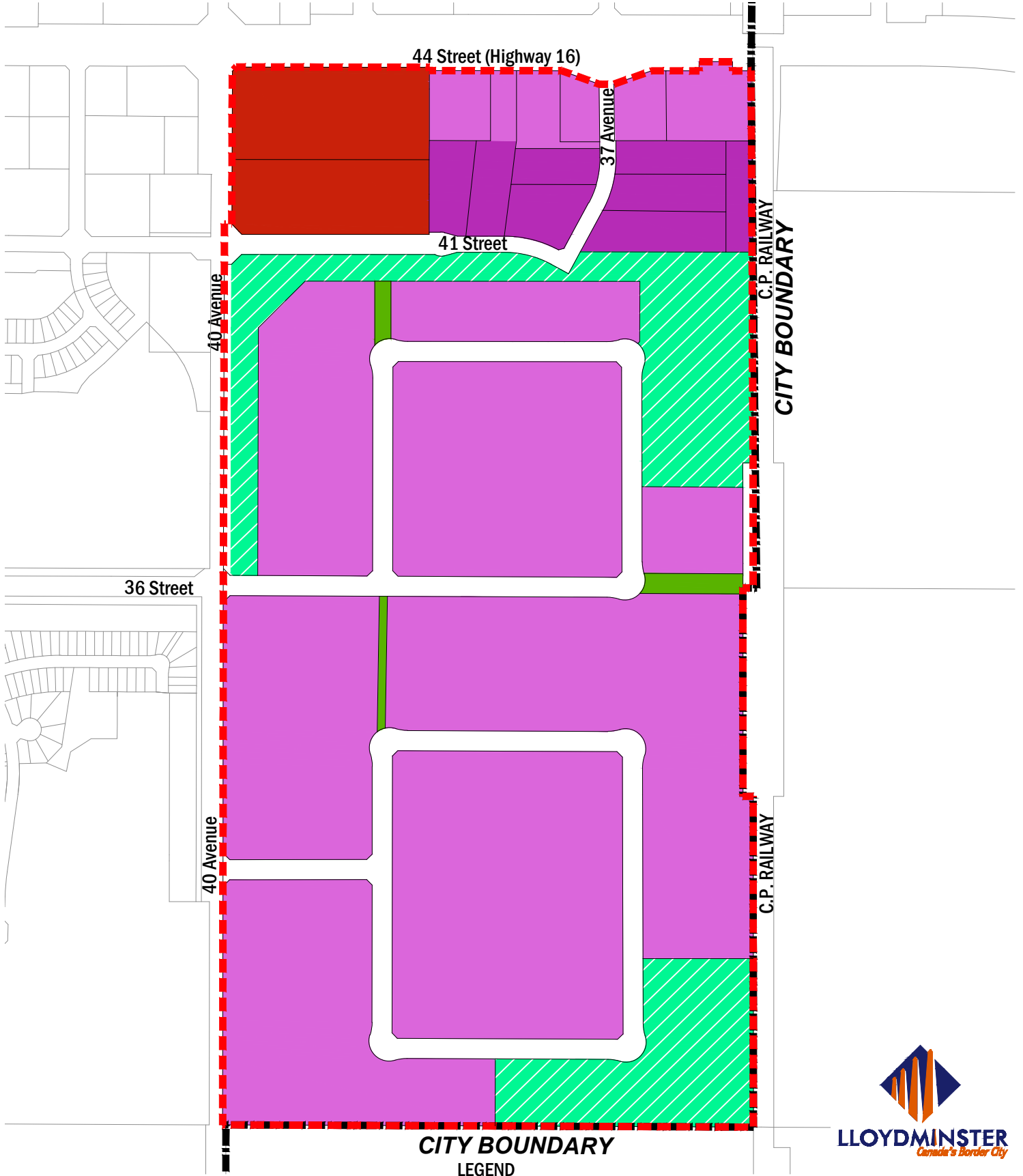


LEGEND

- ASP AREA
- CITY BOUNDARY
- HIGHWAY
- RAILROAD

WIGFIELD INDUSTRIAL
CITY OF LLOYDMINSTER

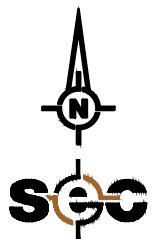




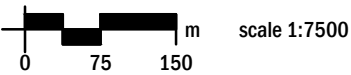
CITY BOUNDARY

LEGEND

- ASP BOUNDARY
- COMMERCIAL
- HEAVY INDUSTRIAL
- LIGHT INDUSTRIAL
- MUNICIPAL UTILITY PARCEL
- STORM WATER MANAGEMENT FACILITY



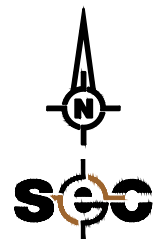
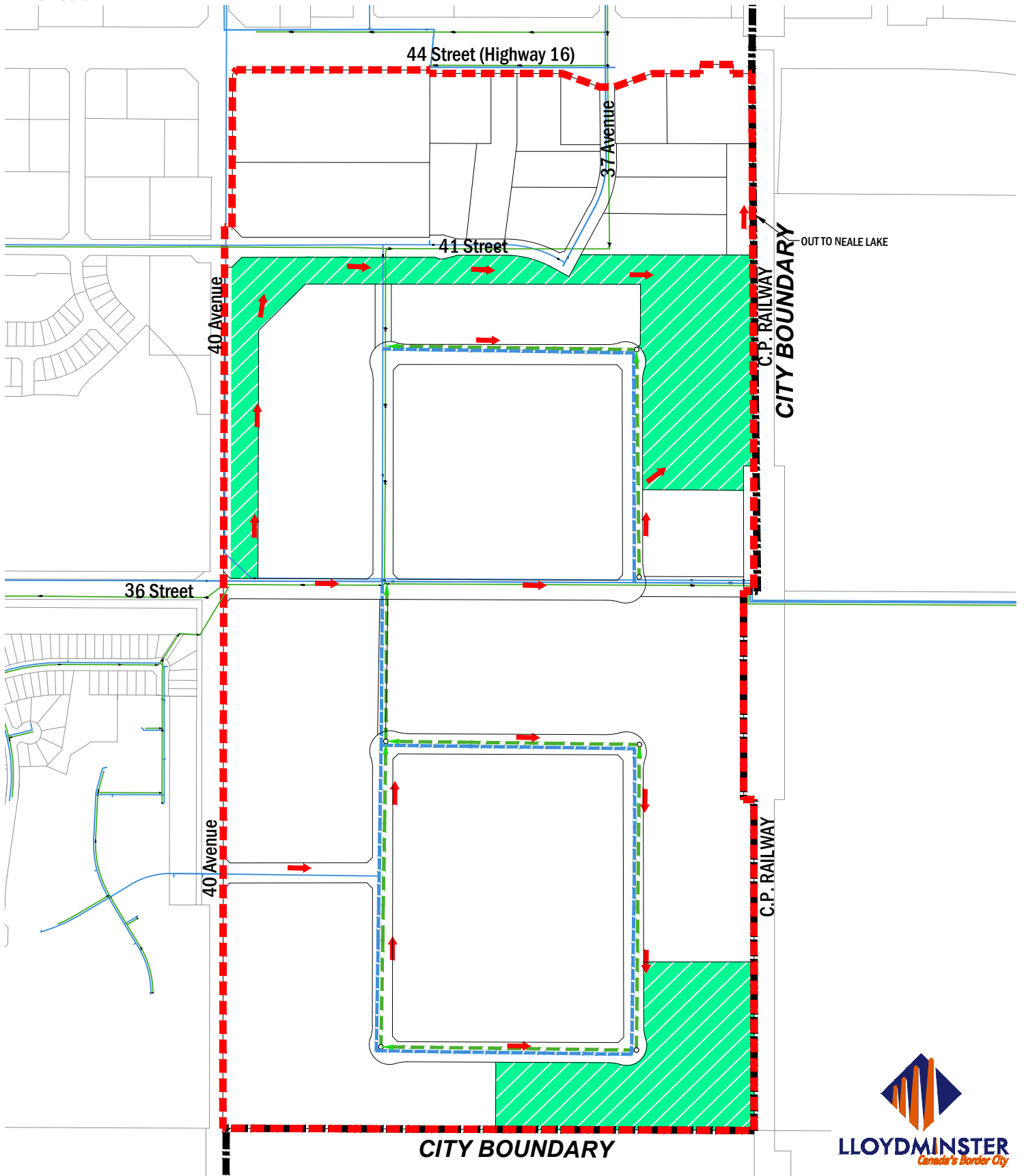
LAND USE CONCEPT



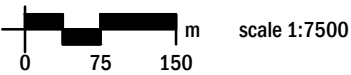
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LLOYDMINSTER
Canada's Border City



SERVICING CONCEPT



LEGEND

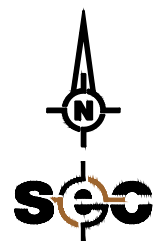
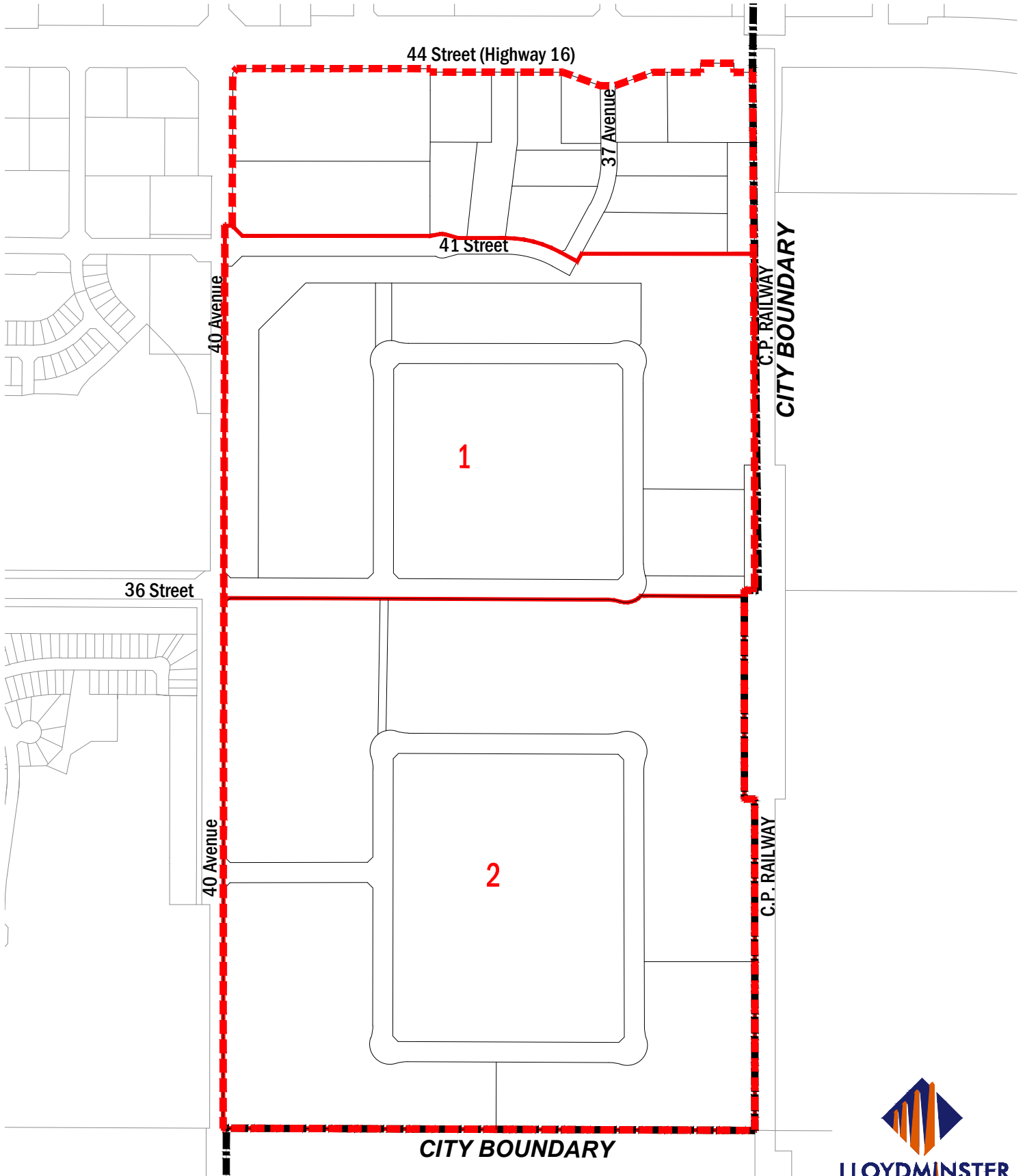
- - - ASP BOUNDARY
- - - PROPOSED WATER MAIN
- - - PROPOSED SANITARY

- EXISTING WATER MAIN
- EXISTING SANITARY
- OVERLAND DRAINAGE
- STORMWATER MANAGEMENT FACILITY

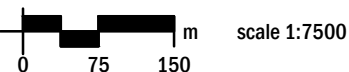
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CITY OF LLOYDMINSTER



LLOYDMINSTER
Canada's Border City



STAGING CONCEPT



LEGEND

- - - - - ASP BOUNDARY
- STAGING BOUNDARY

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